

# Planning Committee Meeting 11<sup>th</sup> November 2020

**MMA/344685/20**

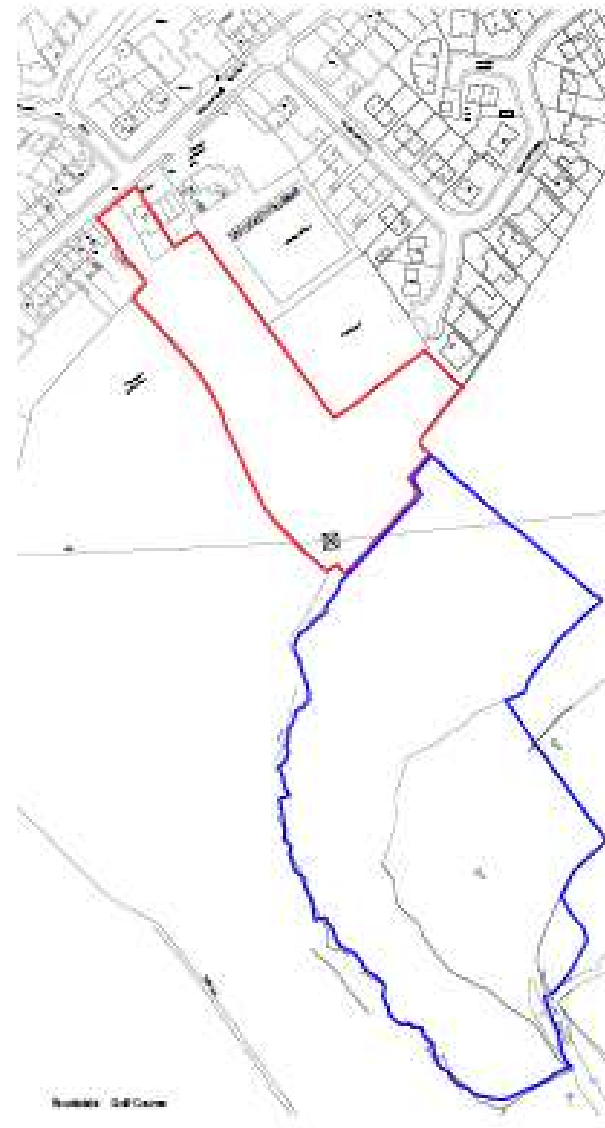
Variation of conditions 1, 2, 3, 4, 5, 6, 8, 10 & 13  
relating to app no. PA/343302/19

Land to the rear of the Dog and Partridge PH, Medlock  
Road, Failsworth, Oldham, M35 9NP



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# Location Plan



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# Aerial View



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## Condition No.1 (Time limit):

Requires a start within three years of the to comply with the provisions of the Town & Country Planning Act 1990, as amended by Section 51 of the Planning and Compulsory Purchase Act 2004. Therefore, it has been agreed this will not be removed or varied with the applicant's agent.





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## Condition No.2 (Approved Plans):

This condition lists the approved plans for the avoidance of doubt and to ensure that the development is carried out in accordance with the approved plans and specifications.

As such, this condition has been varied to take account of the approved details that have been submitted to vary/remove other conditions from the original decision.

# Condition No. 3 (Materials):

FINISH	DESCRIPTION
	<u>Brickwork</u> Wienerberger – Kempley Antique
	<u>Stone Coursing / Stone Heads and Cills / Stone Surrounds / Parapet Copings</u> Scout Moor Gritstone - Petrological Description – Namurian Millstone Grit (from Marshalls – Fletch Bank Quarry – Ramsbottom)
	<u>Entrance Door</u> Rockdoor composite entrance door – Irish Oak finish
	<u>Windows and Rear Access Doors</u> Anthracite Grey uPVC



Bi-Fold Doors  
Anthracite Grey uPVC



Roof Finish  
Slatescape - Mocha Spanish Black



Rainwater Goods  
Square profile Black uPVC with Anthracite  
Grey uPVC Fascia boards and Soffits



Stone Paving  
Indian Sandstone Paving – Buff Multi



Close Board Fencing  
Applied as per planning drawing  
reference: 570 - 004K - Proposed  
Boundary Treatment Plan



Hit and Miss Fencing  
Applied as per planning drawing  
reference: 570 - 004K - Proposed  
Boundary Treatment Plan



7 Metre High Golf Net Fencing  
Applied as per planning drawing  
reference: 570 - 004K - Proposed  
Boundary Treatment Plan

# Condition No. 4 (Adequate off-street parking facilities and hardstanding construction):



## Specification SureSet<sup>®</sup>

Driveways - permeable base (SuDS Compliant)

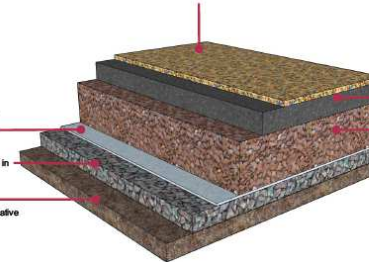
Fully permeable build up above membrane

**SureSet**  
 An aggregate size of 3mm requires a standard depth of 16mm  
 An aggregate size of 6mm requires a standard depth of 18mm  
 An aggregate size of 10mm requires a standard depth of 30mm  
 Fine grit is lightly cast onto an uncurved surface

**Membrane**  
 An impermeable membrane to convey water to retention/detention/storage systems etc.  
 OR  
 A geo-textile separation membrane to allow infiltration directly into sub-grade and to prevent upward migration of fine soil particles may be required.

**Capping/improvement layer, if required, in one or more layers. (please see notes on reverse)**

**Sub-grade**  
 Top soil stripped back until organic and vegetative material has been removed.



**Asphalt Binder Course**  
 Laid by others in well compacted layers.  
 A 70mm minimum depth of maximum size AC 10 open graded asphalt.  
 Max 100/150 pen to BS EN13108-1:2006 (Bituminous Macadam) or (recommended BBA approved polymer modified binder).

**Sub-base**  
 Laid by others in well compacted layers.  
 A 175mm minimum depth of well compacted Type 3 granular sub-base to SHW clause 805 or 444mm, 4/20mm graded crushed concrete aggregate to BS EN12620 or locally available secondary or recycled aggregates which comply with the above specification blended with 2.5.3mm graded crushed concrete aggregate to BS EN12620.

Also suitable for  
 Courtyards, Town centres & Occasional maintenance vehicles

Please refer to specification guidance notes on reverse side.

SureSet UK Ltd © T138 V8

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## Condition No. 5 (Drainage):

- The submitted details have been considered by the Lead Local Flood Authority, and it has been confirmed they are sufficient to satisfy condition 5 of planning application. Provided that a full survey of the watercourse has been undertaken and provided for the LLFA to review prior to occupation of the development.
- As a result, this condition has been varied to require the development is constructed in accordance with the above stated details/ plans, and a full survey of the watercourse has been undertaken and provided for the LLFA to review prior to occupation of the development.



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## Condition No. 6 (To protect the watercourse and Brookdale Golf Course SBI):

- To address the pre-commencement part of this condition the application is supported by the submission of a 'Phase 1 Ecological Survey & Appraisal & Amphibian Habitats Suitability Index Assessment (Update)', produced by Sensible Ecological Survey Solutions. This report is considered acceptable GMEU.
- Therefore, the prior to commencement part of this condition has been varied to address this submission.

# Condition No. 8 (Trees/shrubs within the site):

## Cellweb® TRP Installation Guide



**AGRICULTURAL WOODLAND SYMBOLOGY**

**TREE PROTECTION SYMBOLOGY**

**TREE PROTECTION PLAN**

**CROWN WOODLAND**

**UNDERWOODLAND**

**STEP 1: PREPARE SURFACE**

**STEP 2: LAY OUT TREETEX™**

**STEP 3: LAY OUT CELLWEB® TRP**

# Condition No. 9 (Landscaping scheme):



## Specification SureSet<sup>®</sup> Permeable Paving

Driveways - permeable base (SuDS Compliant)

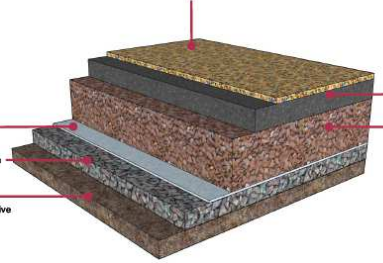
Fully permeable build up above membrane

**SureSet**  
 An aggregate size of 3mm requires a standard depth of 46mm  
 An aggregate size of 6mm requires a standard depth of 48mm  
 An aggregate size of 10mm requires a standard depth of 30mm  
 Fine grit is lightly cast onto an uncured surface

**Membrane**  
 An impermeable membrane to convey water to retention/detention/storage systems etc.  
 OR  
 A geo-textile separation membrane to allow infiltration directly into sub-grade and to prevent upward migration of fine soil particles may be required.

**Capping/Improvement layer, if required, in one or more layers. (please see notes on reverse)**

**Sub-grade**  
 Top soil stripped back until organic and vegetative material has been removed.



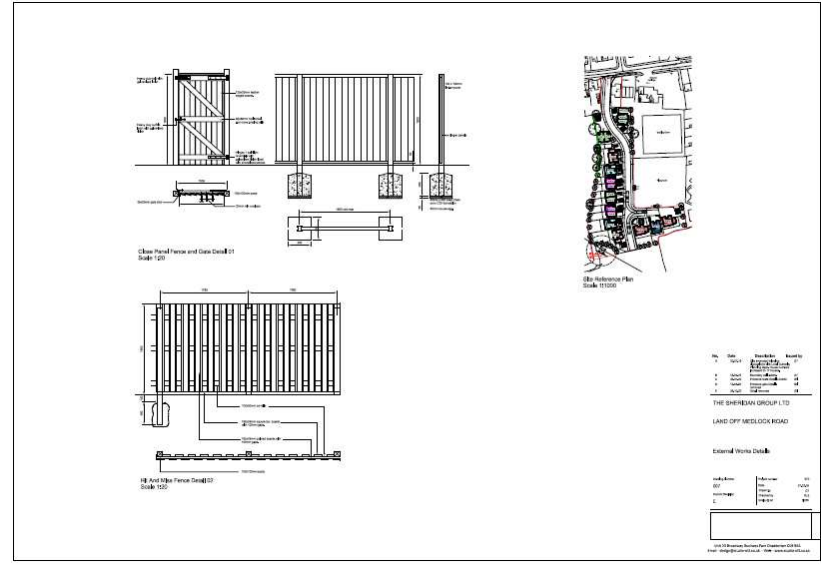
**Asphalt Binder Course**  
 Laid by others in well compacted layers. A 70mm minimum depth of maximum size AC 10 open graded asphalt. Max 100% 50 per to BS EN13108-1:2006 (Bituminous Macadam) or (recommended BBA approved polymer modified binder).

**Sub-base**  
 Laid by others in well compacted layers. A 175mm minimum depth of well compacted Type 3 granular sub-base to SHW clause 905 or 440mm, 420mm graded crushed concrete aggregate to BS EN12620 or locally available secondary or recycled aggregates which comply with the above specification blined with 26.3mm graded crushed concrete aggregate to BS EN12620.

Also suitable for Courtyards, Town centres & Occasional maintenance vehicles

Please refer to specification guidance notes on reverse side.

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## Condition No. 10 (Protection of bird habitats):

GMEU noted that given this condition has no prior commencement requirement and given birds can sometimes decide to nest in unlikely locations, the condition is still therefore required and reasonable to attached.

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## Condition No. 11 (Landfill Gas/Contaminated Land):

The Phase II Geoenvironmental Site Investigation Report by GEOCON, dated October 2017 has classified the whole site as CS3/Amber 1 with regards to ground gas. The Councils Environmental Health Section considered the submitted details and confirmed they address the pre-commencement portion of Condition no. 11. However, a validation report will be required for all plots to confirm the installation of the membranes, is required proper to occupation.

# Condition No.13 (Visibility in the interests of highway safety):

It is noted on site (19/3/2020) that the boundary wall to the front of 111 Medlock Road has been re-sited in accordance with the detail shown on plan ref: 005 Rev H and J930/access/Fig 1. To this end, this condition has been varied to require the boundary wall to the front of 111 Medlock Road remains re-sited, in accordance with the detail shown on plan ref: 005 Rev H and J930/access/Fig 1, at all times and the area between the fence line and the access shall be permanently kept clear of all obstructions.

